

Roof Assessment and Proposed Solution



South Hill Station - Lexington, KY

CentiMark Corporation reserves the right to adjust pricing based on industry wide price increases. Due to supply chain pressures and various material shortages, the roofing industry is currently experiencing unprecedented volatility. This is affecting both material costs and delivery schedules.

Based on the above, the pricing provided can only be held firm for 30 days after the proposal date.

If, during the performance of the contract, the price of material significantly increases, through no fault of CentiMark, the price shall be equitably adjusted by an amount reasonably necessary to cover any such significant price increases. As used herein, a significant price increase shall mean any increase in price exceeding 5 percent experienced by CentiMark from date of contract signing. Such price increases shall be documented through supplier notices, quotes, invoices or receipts. Where the delivery of material is delayed, through no fault of CentiMark, as a result of shortage or unavailability of material, CentiMark shall not be liable for any additional costs or damages associated with such delay.

Thank You for Considering CentiMark

www.CentiMark.com



Prepared On: 10/16/2025

Version: 406713.1.3

Prepared For:

Customer Information

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937
Attn: Ann Wesley
Email: ann.wesley7@gmail.com

Location Information

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937
Attn: Ann Wesley
Email: ann.wesley7@gmail.com

Prepared By:

Project Manager

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[See what makes CentiMark different](#)

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10/16/2025

Ann Wesley
South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Dear Ann Wesley,

I would like to take this opportunity to introduce you to **CentiMark**. As a full service contractor, we can help you address all of your roofing concerns.

We at **CentiMark** specialize in reroofing commercial, industrial and public buildings. With over 50 years experience, we are sensitive to the needs of manufacturing, retailing and the service markets. Many hotels, hospitals, chemical plants, paper mills, retail stores, and others are under the **CentiMark** roof assemblies. We understand the need to maintain production, safeguard stock, protect employees and guests and most important, address safety issues associated with reroof projects.

In addition to being the largest national roofing contractor, **CentiMark** can offer the financial stability it takes to stand behind its SINGLE SOURCE warranties. With over fifty local offices, we are ready to serve even your smallest needs. We have the capability, for multiple building owners, to provide each client with a planned program; this includes budgets, scope of work and recommendations for prioritizing over a multi-year plan. One of our financial strengths is being able to arrange payment plans to meet the needs of multiple building owners. As a **CentiMark** customer, you will receive a toll-free hotline number available seven (7) days a week, twenty-four (24) hours a day for your service needs.

CentiMark is a customer-oriented contractor. We offer many roofing systems and products to solve even the most difficult roofing problems. We are also available on a consultation basis as well as offering preventative maintenance programs to prolong the life of your existing roof. Additionally, **CentiMark's** flooring division is ready to provide protective coatings, floor resurfacing and other various repair materials to maintain the inside of your building.

With these advantages, we are pleased to offer you a risk proof system designed to meet the specific requirements for your building.

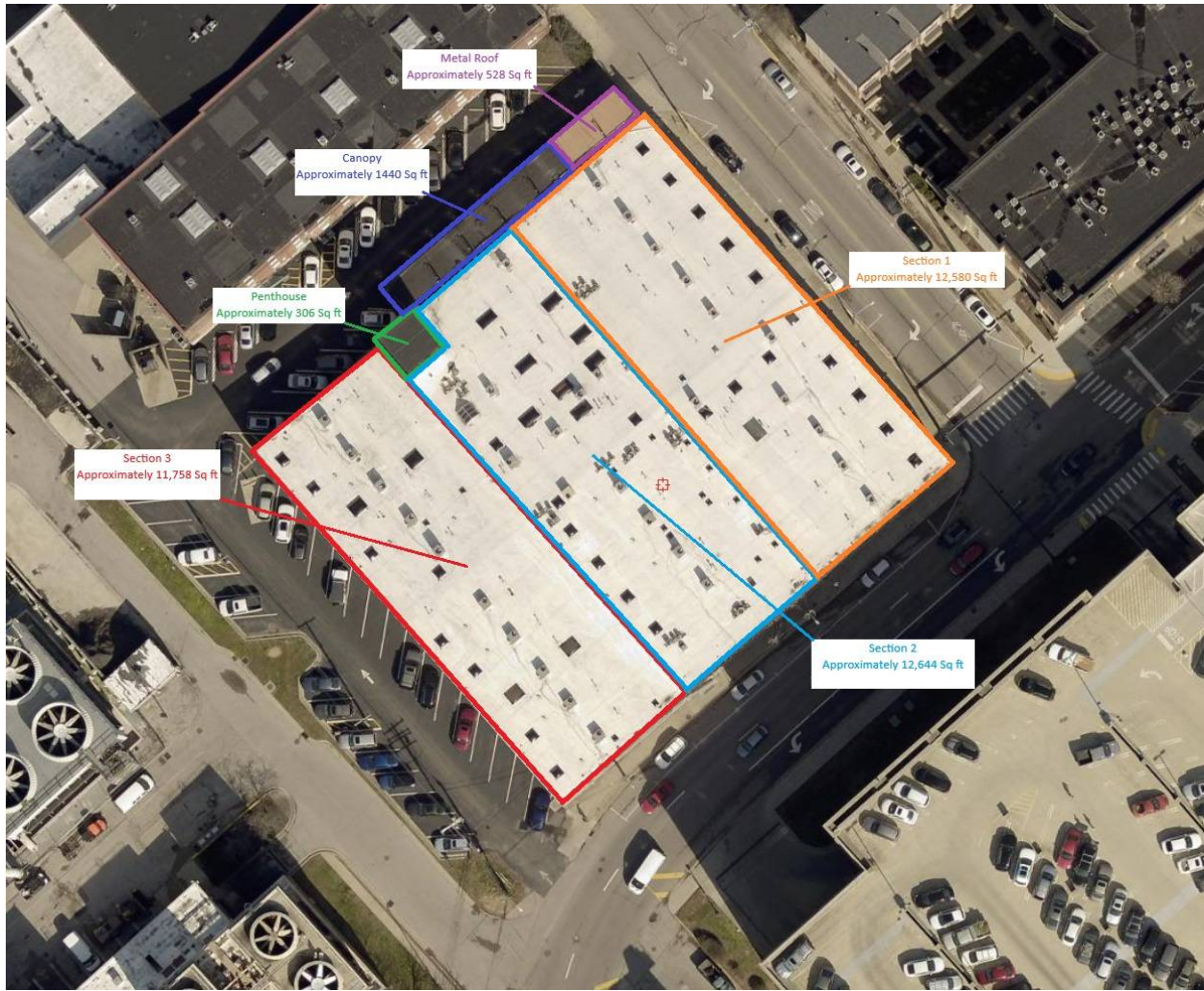
Sincerely,

Ryan Weddle

Senior Project Manager

◀◀◀ Drawing ▶▶▶

Area: Drawing



◀◀ Overview Pictures ▶▶▶

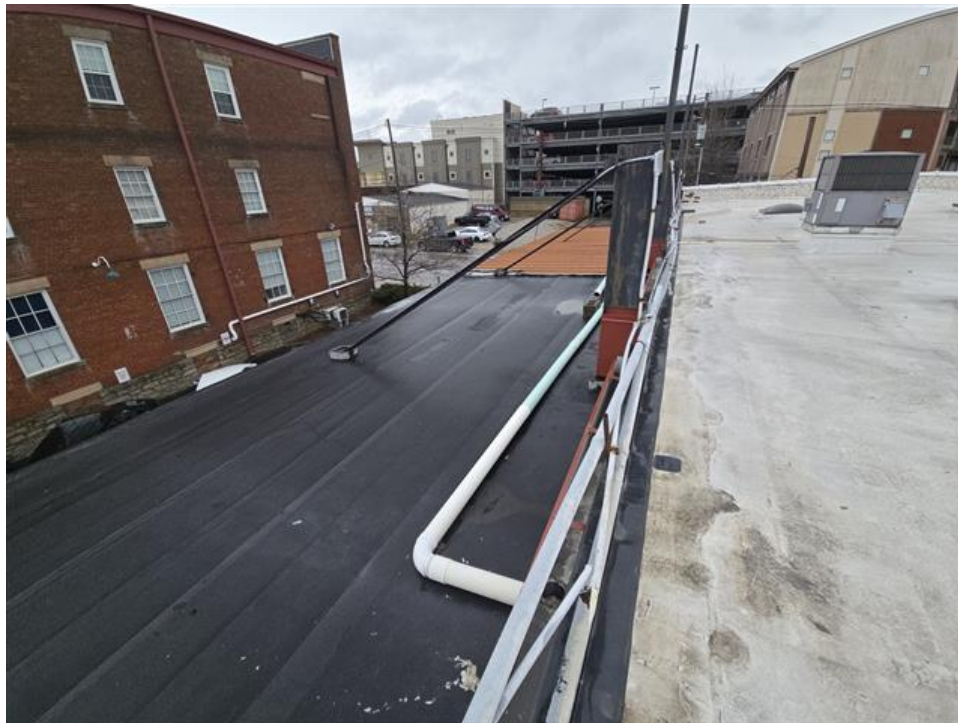
Section: Canopy
Area: Overview



Section: Canopy
Area: Overview



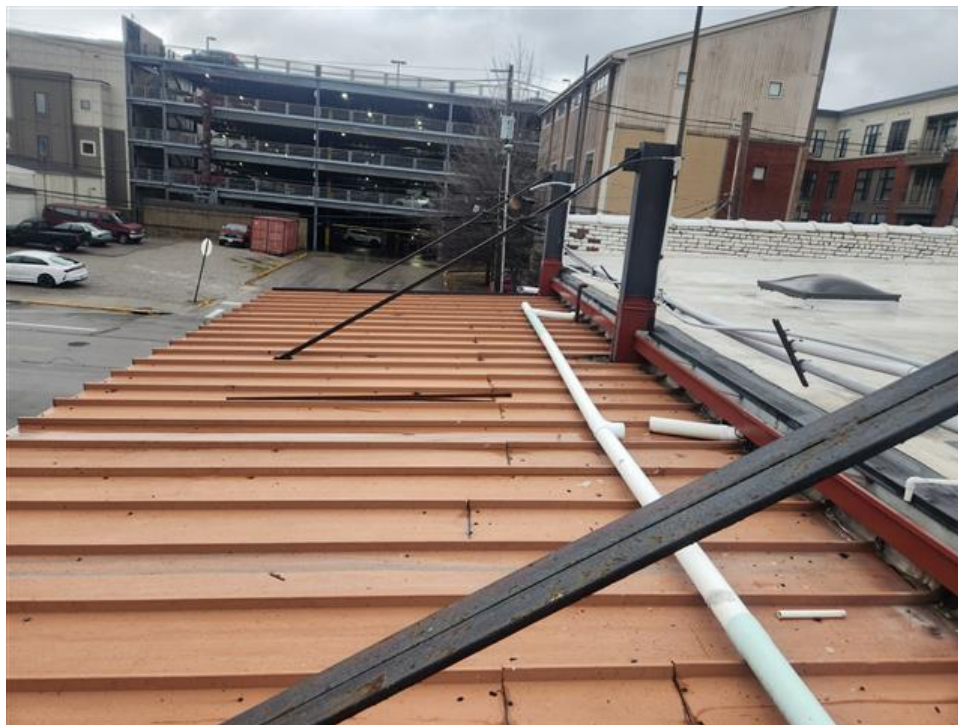
Section: Canopy
Area: Overview



Section: Metal Roof
Area: Overview



Section: Metal Roof
Area: Overview



Section: Metal Roof
Area: Overview



Section: Penthouse
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
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Section: Section 1
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Section: Section 1
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Section: Section 2
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Section: Section 3
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Section: Section 3
Area: Overview



Section: Section 3
Area: Overview



Section: Section 3
Area: Overview



Section: Section 3
Area: Overview



Defect Pictures

Section: Section 1

Area: Defects

Caption: (All) Past Repairs of Existing Roof System



Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.

Section: Section 1

Area: Defects

Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



Section: Section 2

Area: Defects

Caption: (All) Past Repairs of Existing Roof System



Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.

Section: Section 2

Area: Defects

Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



Section: Section 3

Area: Defects

Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



Section: Section 3

Area: Defects

Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



Section: Section 3

Area: Defects

Caption: (All) Pipe Flashing Failure

Description

Accessories-(All) Drains - Debris Strainer - Clogged

Impact

Clogged debris strainers can result in insufficient drainage and contribute to flashing failure, roof leaks, moisture infiltration into the roof system, deck deflection, or a potential roof collapse during heavy rainfall or snow and ice melt periods.




◀◀◀ Roof Condition Summary ▶▶▶

Section Condition Overview

Section	Sq. Footage	Leaks	Description
Section 1	12,553	Multiple	Very Poor
Section 2	12,658	Multiple	Very Poor
Penthouse	306	Multiple	Very Poor
Section 3	11,758	Multiple	Very Poor
Metal Roof	528	Unknown	Poor
Canopy	1,437	Unknown	Very Poor

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Section 1	Sq. Footage: 12,553	Leaks: Multiple																		
	<table><tr><th colspan="3">Core Analysis</th></tr><tr><th>Layer</th><th>Material</th><th>Thickness</th></tr><tr><td>Wood T&G</td><td>Deck</td><td>3.0</td></tr><tr><td>2-Ply Asphalt</td><td>BUR (Asphalt)</td><td>0.5</td></tr><tr><td>Fiberboard</td><td>Insulation</td><td>0.5</td></tr><tr><td>EPDM Fastened</td><td>EPDM</td><td>0.06</td></tr></table>		Core Analysis			Layer	Material	Thickness	Wood T&G	Deck	3.0	2-Ply Asphalt	BUR (Asphalt)	0.5	Fiberboard	Insulation	0.5	EPDM Fastened	EPDM	0.06
Core Analysis																				
Layer	Material	Thickness																		
Wood T&G	Deck	3.0																		
2-Ply Asphalt	BUR (Asphalt)	0.5																		
Fiberboard	Insulation	0.5																		
EPDM Fastened	EPDM	0.06																		
Core Comments:																				

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.


DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The insulation has become saturated in identified areas. This moisture-laden material needs to be removed and replaced immediately to prevent further costly deterioration.

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Section 2		Sq. Footage: 12,658	Leaks: Multiple															
		<div>Core Analysis</div> <table><tr><th>Layer</th><th>Material</th><th>Thickness</th></tr><tr><td>Wood T&G</td><td>Deck</td><td>3.0</td></tr><tr><td>2-Ply Asphalt</td><td>BUR (Asphalt)</td><td>0.5</td></tr><tr><td>ISO</td><td>Insulation</td><td>1.5</td></tr><tr><td>EPDM Fastened</td><td>EPDM</td><td>0.06</td></tr></table>		Layer	Material	Thickness	Wood T&G	Deck	3.0	2-Ply Asphalt	BUR (Asphalt)	0.5	ISO	Insulation	1.5	EPDM Fastened	EPDM	0.06
Layer	Material	Thickness																
Wood T&G	Deck	3.0																
2-Ply Asphalt	BUR (Asphalt)	0.5																
ISO	Insulation	1.5																
EPDM Fastened	EPDM	0.06																
Core Comments:																		

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.

DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The insulation has become saturated in identified areas. This moisture-laden material needs to be removed and replaced immediately to prevent further costly deterioration.

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Penthouse		Sq. Footage: 306	Leaks: Multiple
<div>No Image Available</div>		<div>This is a duplicate core.</div>	
Core Comments:			

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.


DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The insulation has become saturated in identified areas. This moisture-laden material needs to be removed and replaced immediately to prevent further costly deterioration.

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Section 3		Sq. Footage: 11,758	Leaks: Multiple
	Core Analysis		
	Layer	Material	Thickness
	Wood T&G	Deck	3.0
	3-Ply Asphalt	BUR (Asphalt)	1.0
	Perlite	Insulation	0.5
	EPDM Fastened	EPDM	0.06
	Core Comments:		

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.


DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The insulation has become saturated in identified areas. This moisture-laden material needs to be removed and replaced immediately to prevent further costly deterioration.

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Metal Roof	Sq. Footage: 528	Leaks: Unknown									
	<table><tr><th colspan="3">Core Analysis</th></tr><tr><th>Layer</th><th>Material</th><th>Thickness</th></tr><tr><td>Metal Standing Seam (BattenLok Panel)</td><td>Deck</td><td>2.0</td></tr></table>		Core Analysis			Layer	Material	Thickness	Metal Standing Seam (BattenLok Panel)	Deck	2.0
	Core Analysis										
	Layer	Material	Thickness								
Metal Standing Seam (BattenLok Panel)	Deck	2.0									
Core Comments:											

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. As a short-term measure, repairs are needed. It is also suggested that near future roofing work be budgeted.


DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The current roof assembly did not utilize roof insulation.

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
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Section: Canopy		Sq. Footage: 1,437	Leaks: Unknown
	Core Analysis		
	Layer	Material	Thickness
	Plywood	Deck	0.75
	2-Ply Asphalt	BUR (Asphalt)	0.25
	Core Comments:		

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.

DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The current roof assembly did not utilize roof insulation.

◀◀◀ Construction Specification ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937


Specifications For CentiMark TPO Mechanically Fastened System

Sections included: Canopy, Metal Roof, Penthouse, Section 1, Section 2, Section 3


Project Preparation:

Perform a pre-job meeting to determine jobsite logistics and safety requirements.

Safety Related

Furnish and install proper safety equipment in accordance with Centimark's written safety program. 

Furnish and install warning lines to identified areas associated with ground related roofing activities.

Store roofing materials in accordance with good roofing practices. Material placement will be to distribute weight loads throughout the entire roof area. 

Surface Preparation:

Remove and dispose of existing roof systems.

Removal of existing roof will be limited to an amount that can be replaced the same day.

Inspect existing structural deck for deterioration.

Identify and remove structural deck not capable of providing an acceptable substrate for the installation of the new roof. Furnish and install new deck at a unit cost of \$11.06 per square foot. Areas of removal will be approved by an Owner's representative.

Remove and dispose of existing pitch pan(s) as needed. (Section 1, Section 2, Section 3, Metal Roof, Canopy Only.)

Insulation Attachment:


Furnish and install two layers of 2.2" polyisocyanurate insulation, (R-Value = 25.2). This layer of insulation will be mechanically attached to the prepared substrate utilizing FM Global (FM) approved 3" plates and fasteners. (Section 1, Section 2, Section 3, Penthouse Only.)


Furnish and install a layer of 1.5" polyisocyanurate insulation, (R-Value = 8.6). This layer of insulation will be mechanically attached to the prepared substrate utilizing FM Global (FM) approved 3" plates and fasteners. (Canopy Only.)


Furnish and install a 2" polyisocyanurate insulation in the lower ribs of the existing metal roof panels to bring roof height to level. This layer of insulation will be loose laid in place. Furnish and install a layer of 1.5" polyisocyanurate insulation over the 2" polyisocyanurate insulation. This layer of insulation will be mechanically attached to the prepared substrate utilizing 3" plates and fasteners. (Metal Roof Only.)

System Application:

Furnish and install **CentiMark** 60 mil reinforced, TPO roof membrane.

Install the new TPO membrane over the prepared surface by utilizing mechanical fasteners on 10 foot centers. 

Mechanical attachment of the membrane shall be done utilizing a 1" wide polymer batten bar or 2 3/8" round seam plates and FM Global (FM) approved fasteners. Maximum spacing 6" on center. 

The thermoplastic membrane seams will be overlapped a minimum of 5", then hot air welded together. Weld width shall be a minimum of 1.5" in width for automatic machine welding. Weld width shall be 2" in width for hand welding. Upon completion of welding, each seam shall be probed to ensure proper securement. 

HVAC, Curbed Penetrations and Other Air Handling Unit Details


Furnish and install at the base of the unit 2 3/8" round seam plates to the field membrane. Adhere a second piece of thermoplastic membrane to the curb with bonding adhesive and install prefabricated universal corners for reinforcement.

All existing skylights will be raised to the appropriate height to meet industry standard flashing requirements.

Parapet Wall Detail

Furnish and install 2 3/8" round seam plates or 1" wide polymer batten strip to the field sheet at the base of the wall. A second piece of membrane will be adhered to the wall, welded to the field sheet and terminated with an aluminum bar.



Pipes Less Than 6" In Diameter

Furnish and install new prefabricated thermoplastic pipe boot secured at the top with a stainless steel screw type clamp adhered to the field sheet. 

Stacks Greater Than 6" In Diameter

Furnish and install a 60 mil, non-reinforced thermoplastic flashing, where applicable.

Miscellaneous Projections

Furnish and install thermoplastic flashings to the roof projections. Upon completion of welding, each seam shall be probed to ensure proper securement.  

Sheet Metal Accessories:

Furnish and install new 24 gauge metal gravel stop/drip edge with continuous cleat.

Furnish and install new 24 gauge pre-finished gutter and downspouts. Choice of color to be selected by owner from standard color chart. (Penthouse, Metal Roof, Canopy Only.)

Standard Operating Procedures:

Employee Professionalism

All work shall be performed in a safe, professional manner in compliance with Centimark policy.

Nightly Tie-In's

Depending on new roof system being installed, temporary water cut-offs are to be constructed at the end of each working day to protect the newly installed roof system and building interior.

Clean Up

All work premises will be cleaned daily during the construction process and at the completion of the project.

Job Acceptance and Punch List

Conduct a post job walk through for final sign-off of our job completion form.

Warranty

Upon purchase of the roofing system, you become entitled to receive the benefits of single source responsibility through **CentiMark's** comprehensive written warranty. This warranty protects your roof against defects in materials or workmanship. If your roof leaks at any time during the warranty period, we will provide complete warranty service.

Quote Name	Section Name	Length
All Quotes.	All Sections.	Twenty Five (25)

Exclusions

CentiMark Corporation disclaims any and all responsibility for pre-existing conditions including, but not limited to: structural damage or deficiencies, clogged drains, mold growth, excessive standing water, removal of hazardous material or other hidden deficiencies such as; damaged or leaking skylights, HVAC units/conduits, electrical or gas lines. This proposal does not cover, and in no case shall CentiMark be liable for, the removal of, or damage to, HVAC units/conduits, gas lines, water lines, electric lines, or conduits, whether located above, below, or in the roof system, lightning protection systems, landscaping, communication cable, communication devices, or other devices, including recalibration of satellites. It is the building owner's financial obligation to provide corrective measures.

Please know that CentiMark Corporation is not an architect, engineering or design professional, and consequently assumes no responsibility for any such services. The proposed scope of work has been submitted upon your specific request. Unless otherwise noted specifically in the proposed scope of work, you acknowledge that the following options are not included in the contract price, including: safety accessories; increased insulation; or enhanced roof draining upgrades such as added drains, emergency overflow scuppers, sloped/tapered insulation or larger gutters and downspouts. Please let us know if you would like to review or include any of these options.

Recommended Accessory Options to Consider:

To install wall flashings up 3' parapet walls instead of flashing up 1' and terminating with termination bar, this will be an additional investment of \$5,850.00.

◀◀◀ Safety Pictures ▶▶▶

Section: Section 3

Area: Safety



Existing Safety Condition

Safety Solution

Description

Flags & MSS - Edge MSS

Hazard

Exposed Edges - Fall Hazard

Impact

Centimark employee could fall off the edge resulting in serious injury or death.

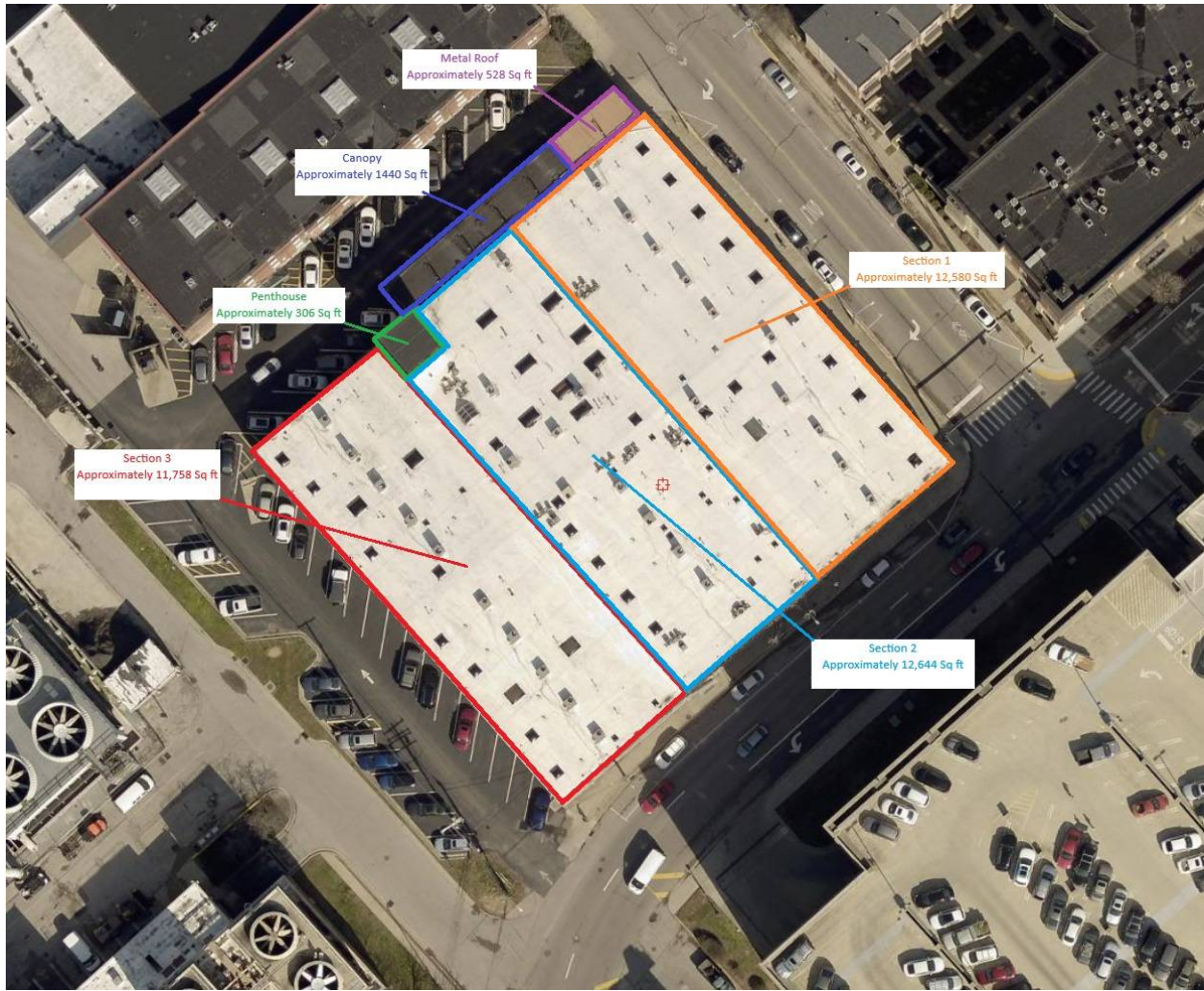
Solution

Run a 3/8 inch cable, 7ft back from edge, to prevent employee, wearing a 6ft lanyard, from reaching the fall hazard but still allowing work to be done on the edge.



◀◀◀ Drawing ▶▶▶

Area: Drawing



Executive Proposal Summary

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Quote	Section	Sq Ft.	System	Warranty*	Price
South Hill Station - Combined					\$588,910
	Canopy	1,437	TPO Fastened	Twenty Five (25) years	
	Metal Roof	528	TPO Fastened	Twenty Five (25) years	
	Penthouse	306	TPO Fastened	Twenty Five (25) years	
	Section 1	12,553	TPO Fastened	Twenty Five (25) years	
	Section 2	12,658	TPO Fastened	Twenty Five (25) years	
	Section 3	11,758	TPO Fastened	Twenty Five (25) years	
	Options for Quote:				
	<ul style="list-style-type: none"> To install wall flashings up 3' parapet walls instead of flashing up 1' and terminating with termination bar, this will be an additional investment of \$5,850.00. 				
<p>* Roof system warranties protect your roof against defects in materials or workmanship for the specified period as outlined in the CentiMark Non-Prorated Limited Roof Warranty or the manufacturer's warranty.</p>					

CentiMark Project Manager Signature

Date

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Version: 406713.1.3

Standard terms: One-third (1/3) of the contract price due at the job start and the balance due net thirty (30) upon job completion, unless otherwise agreed to in the contract document. Projects greater than \$250,000 may be subject to progress payments. (Special terms are available upon request)

CentiMark Corporation reserves the right to adjust pricing based on industry wide price increases. Due to supply chain pressures and various material shortages, the roofing industry is currently experiencing unprecedented volatility. This is affecting both material costs and delivery schedules.

Based on the above, the pricing provided can only be held firm for 30 days after the proposal date.

If, during the performance of the contract, the price of material significantly increases, through no fault of CentiMark, the price shall be equitably adjusted by an amount reasonably necessary to cover any such significant price increases. As used herein, a significant price increase shall mean any increase in price exceeding 5 percent experienced by CentiMark from date of contract signing. Such price increases shall be documented through supplier notices, quotes, invoices or receipts. Where the delivery of material is delayed, through no fault of CentiMark, as a result of shortage or unavailability of material, CentiMark shall not be liable for any additional costs or damages associated with such delay.

This quote does not include any supplemental deck attachment as may be required by Factory Mutual Global (FM). Please note that should FM and/or you require such deck attachment, additional costs will be estimated and added as a separate item to the overall cost of this project.

Valid from 10/16/2025