

Roof Assessment and Proposed Solution



South Hill Station - Lexington, KY

CentiMark Corporation reserves the right to adjust pricing based on industry wide price increases. Due to supply chain pressures and various material shortages, the roofing industry is currently experiencing unprecedented volatility. This is affecting both material costs and delivery schedules.

Based on the above, the pricing provided can only be held firm for 30 days after the proposal date.

If, during the performance of the contract, the price of material significantly increases, through no fault of CentiMark, the price shall be equitably adjusted by an amount reasonably necessary to cover any such significant price increases. As used herein, a significant price increase shall mean any increase in price exceeding 5 percent experienced by CentiMark from date of contract signing. Such price increases shall be documented through supplier notices, quotes, invoices or receipts. Where the delivery of material is delayed, through no fault of CentiMark, as a result of shortage or unavailability of material, CentiMark shall not be liable for any additional costs or damages associated with such delay.

Thank You for Considering CentiMark

www.CentiMark.com



Prepared On: 10/16/2025

Version: 406713.1.3

Prepared For:

Customer Information

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Attn: Ann Wesley

Email: ann.wesley7@gmail.com

Location Information

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Attn: Ann Wesley

Email: ann.wesley7@gmail.com

Prepared By:

Project Manager

Ryan Weddle
CentiMark Corporation
6201 Sable Mill Ct
Jeffersonville, IN 47130-925

Ryan.Weddle@centimark.com
Phone: 502-716-5777
Fax: 502-716-5779



Please visit us at www.centimark.com

[See what makes CentiMark different](#)

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10/16/2025

Ann Wesley
South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Dear Ann Wesley,

I would like to take this opportunity to introduce you to **CentiMark**. As a full service contractor, we can help you address all of your roofing concerns.

We at **CentiMark** specialize in reroofing commercial, industrial and public buildings. With over 50 years experience, we are sensitive to the needs of manufacturing, retailing and the service markets. Many hotels, hospitals, chemical plants, paper mills, retail stores, and others are under the **CentiMark** roof assemblies. We understand the need to maintain production, safeguard stock, protect employees and guests and most important, address safety issues associated with reroof projects.

In addition to being the largest national roofing contractor, **CentiMark** can offer the financial stability it takes to stand behind its SINGLE SOURCE warranties. With over fifty local offices, we are ready to serve even your smallest needs. We have the capability, for multiple building owners, to provide each client with a planned program; this includes budgets, scope of work and recommendations for prioritizing over a multi-year plan. One of our financial strengths is being able to arrange payment plans to meet the needs of multiple building owners. As a **CentiMark** customer, you will receive a toll-free hotline number available seven (7) days a week, twenty-four (24) hours a day for your service needs.

CentiMark is a customer-oriented contractor. We offer many roofing systems and products to solve even the most difficult roofing problems. We are also available on a consultation basis as well as offering preventative maintenance programs to prolong the life of your existing roof. Additionally, **CentiMark's** flooring division is ready to provide protective coatings, floor resurfacing and other various repair materials to maintain the inside of your building.

With these advantages, we are pleased to offer you a risk proof system designed to meet the specific requirements for your building.

Sincerely,

Ryan Weddle

Senior Project Manager

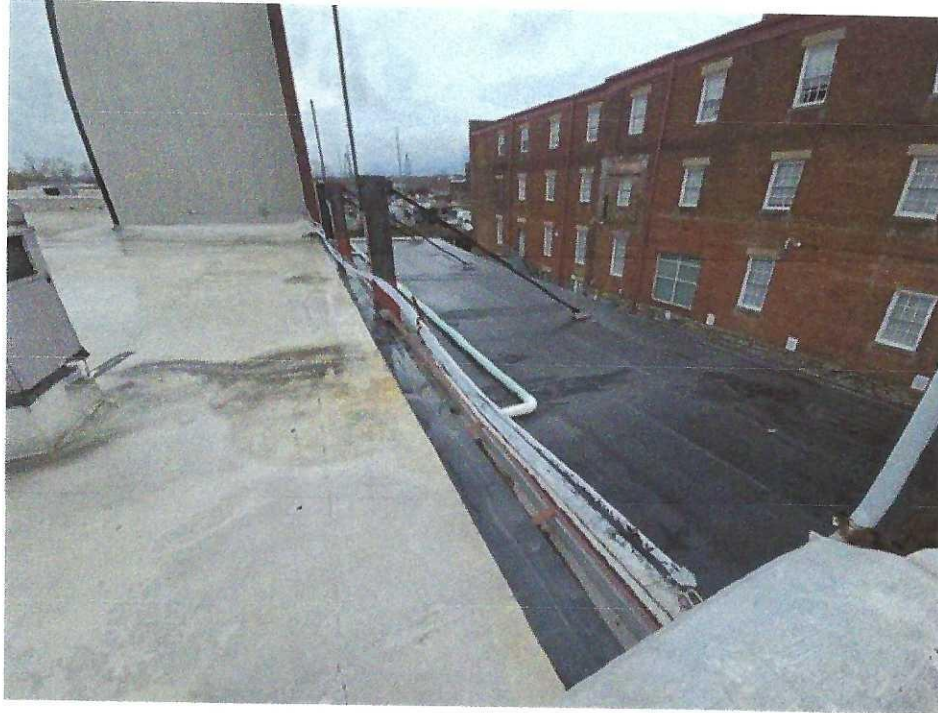
◀◀◀ Drawing ▶▶▶

Area: Drawing



◀◀ Overview Pictures ▶▶▶

Section: Canopy
Area: Overview



Section: Canopy
Area: Overview



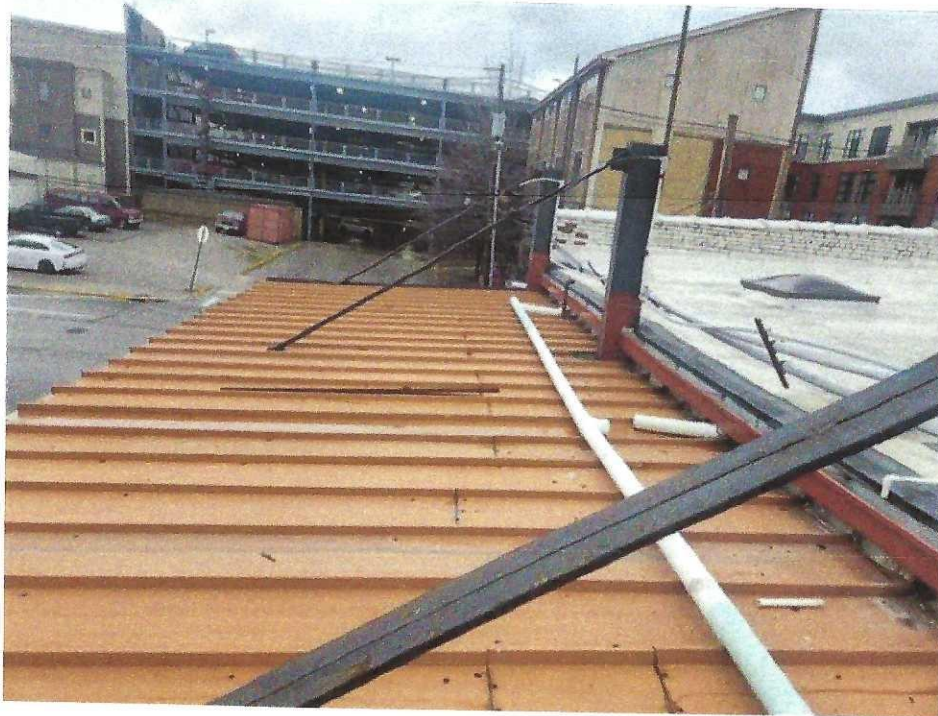
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Area: Overview



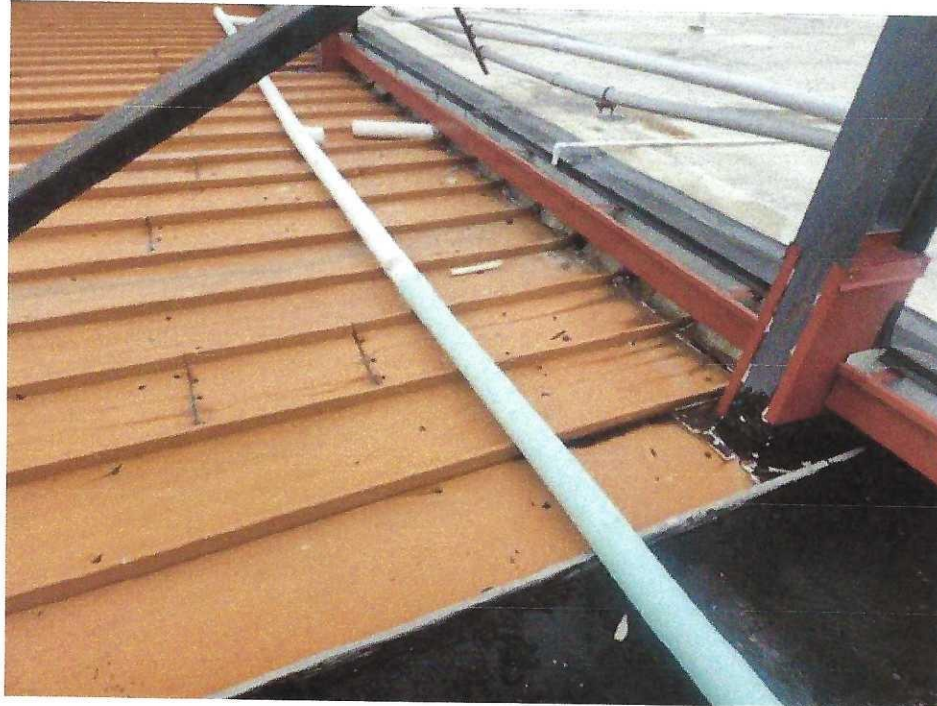
Section: Metal Roof
Area: Overview



Section: Metal Roof
Area: Overview



Section: Metal Roof
Area: Overview



Section: Penthouse
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



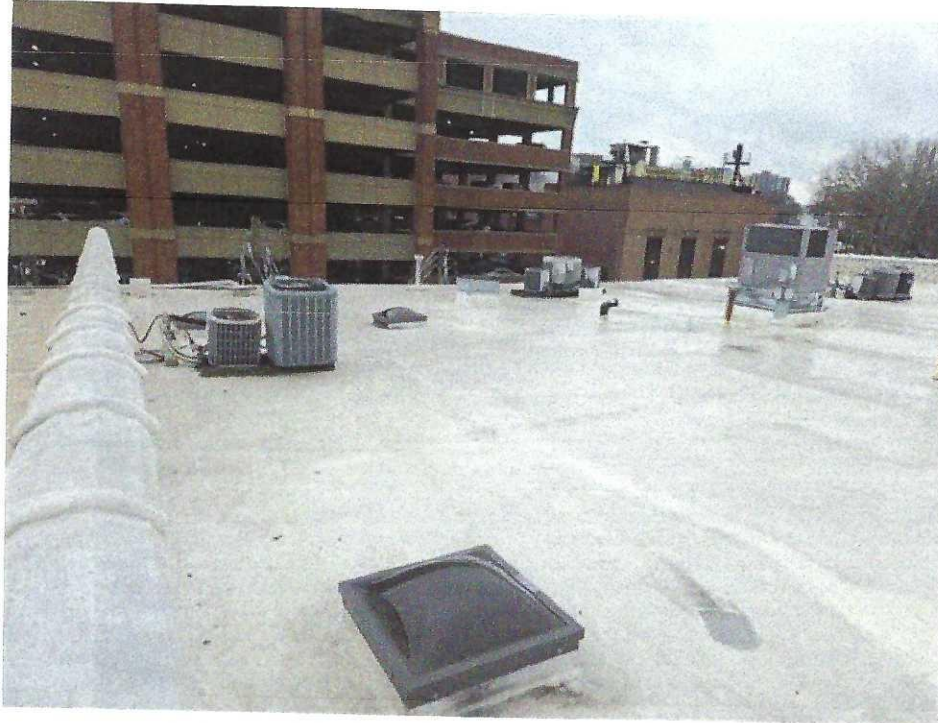
Section: Section 1
Area: Overview



Section: Section 1
Area: Overview



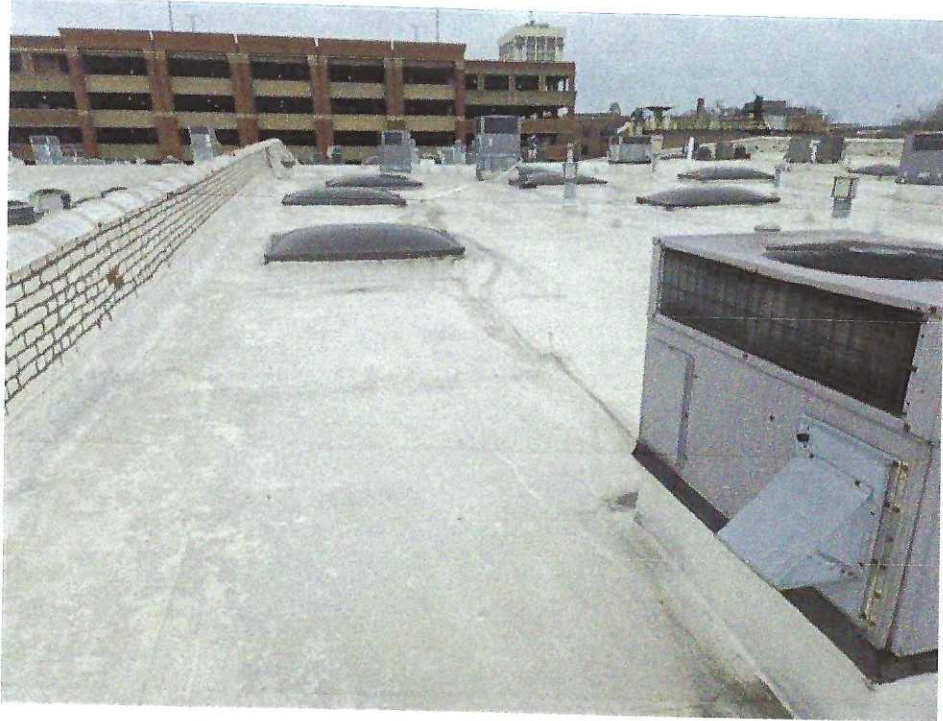
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Area: Overview



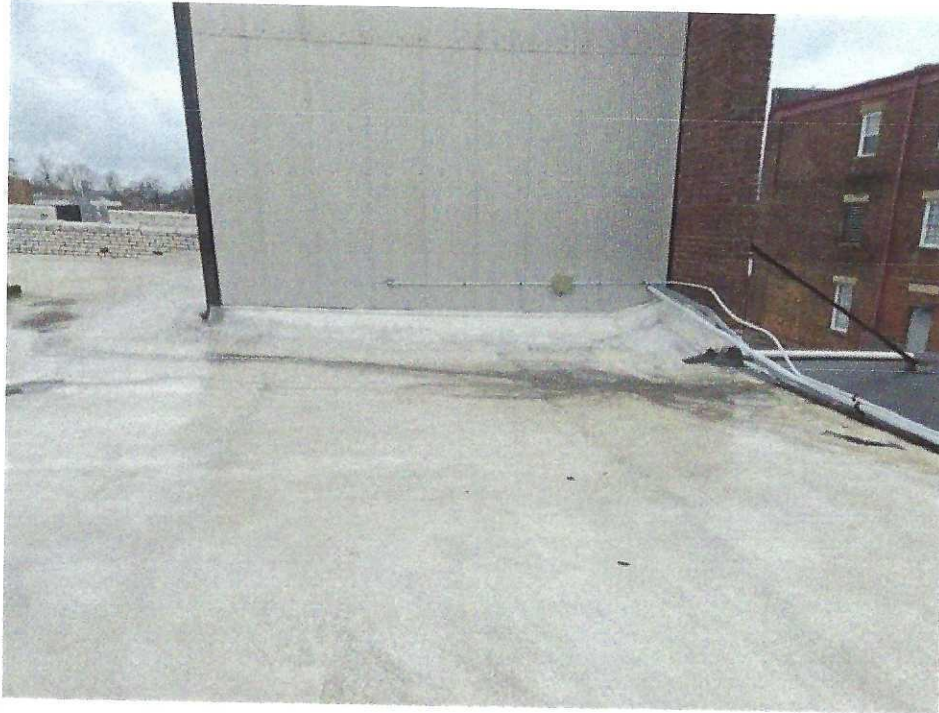
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Area: Overview



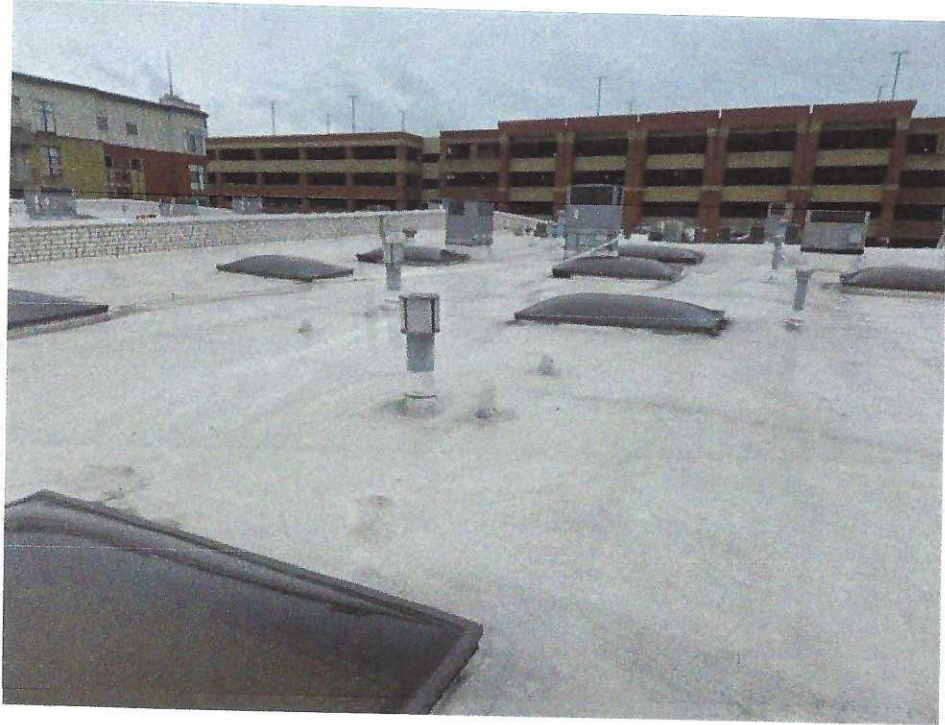
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Area: Overview



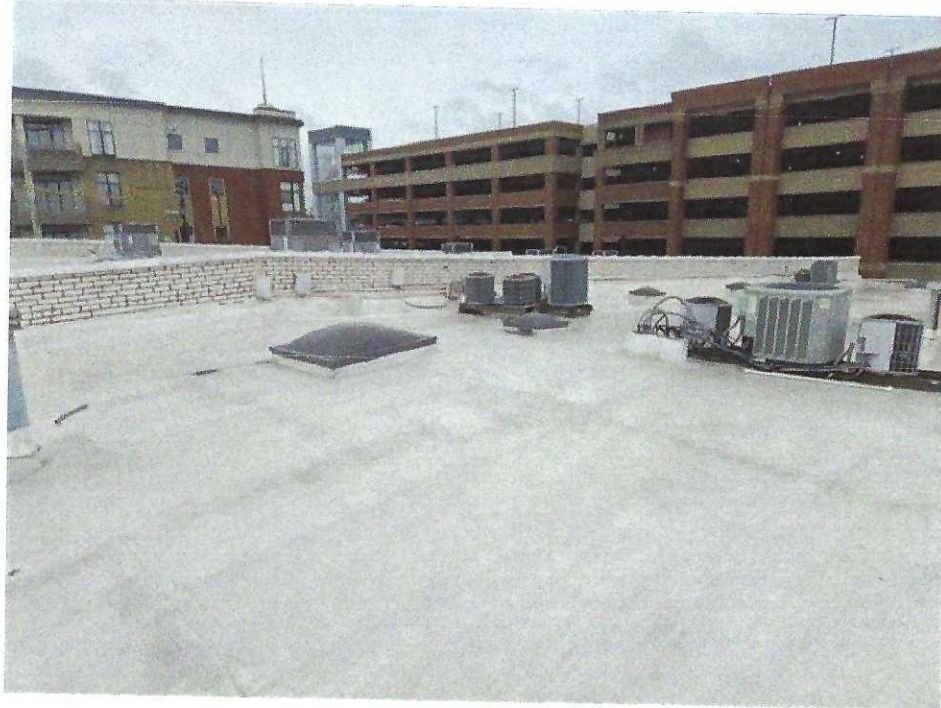
Section: Section 2
Area: Overview



Section: Section 2
Area: Overview



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Area: Overview



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Area: Overview



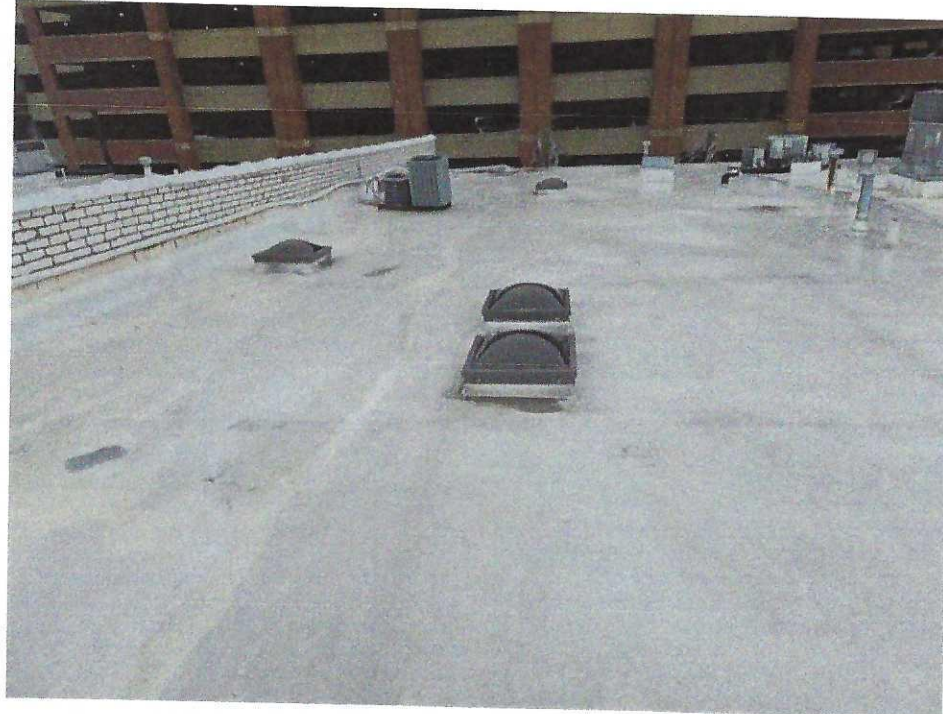
Section: Section 2
Area: Overview



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Section: Section 2
Area: Overview



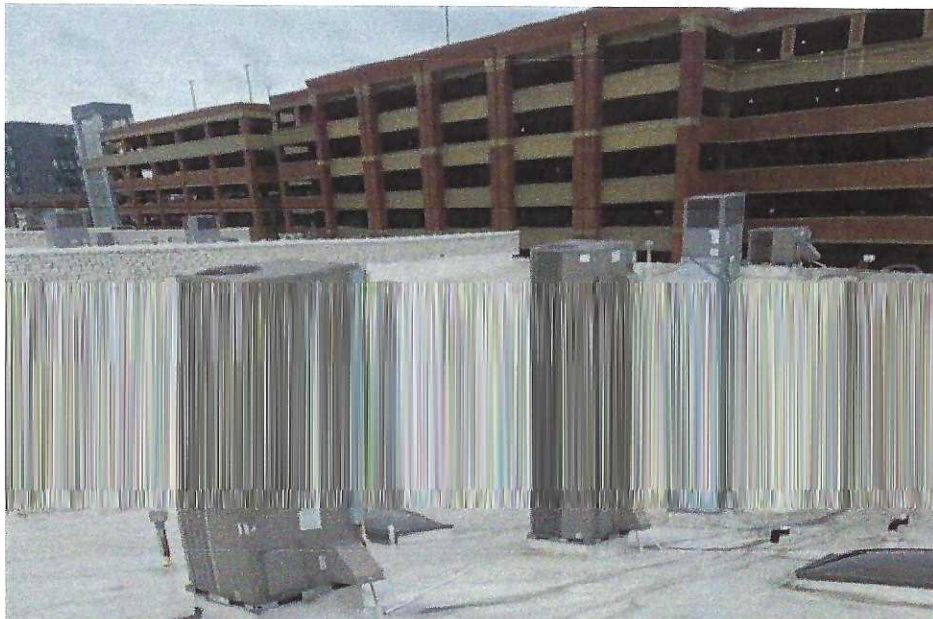
Section: Section 3
Area: Overview





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Section: Section 3
Area: Overview



◀◀◀ Defect Pictures ▶▶▶

Section: Section 1

Area: Defects

Caption: (All) Past Repairs of Existing Roof System



Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.

Section: Section 1

Area: Defects

Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



Section: Section 3

Area: Defects

Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



Section: Section 3

Area: Defects

Caption: (All) Past Repairs of Existing Roof System



Description

Field of the roof-(Tile) Tiles - Missing

Impact

Missing tiles create gaps in your roof that allow water to seep in, causing leaks and water damage to your roof, attic, ceilings, and walls.



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Area: Defects

Caption: (All) Pipe Flashing Failure

Description

Accessories-(All) Drains - Debris Strainer - Clogged

Impact

Clogged debris strainers can result in insufficient drainage and contribute to flashing failure, roof leaks, moisture infiltration into the roof system, deck deflection, or a potential roof collapse during heavy rainfall or snow and ice melt periods.




Roof Condition Summary

Section Condition Overview

Section	Sq. Footage	Leaks	Description
Section 1	12,553	Multiple	Very Poor
Section 2	12,658	Multiple	Very Poor
Penthouse	306	Multiple	Very Poor
Section 3	11,758	Multiple	Very Poor
Metal Roof	528	Unknown	Poor
Canopy	1,437	Unknown	Very Poor

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Section 1	Sq. Footage: 12,553	Leaks: Multiple														
	<div></div> <table border="1"><caption>Core Analysis</caption><thead><tr><th>Layer</th><th>Material</th><th>Thickness</th></tr></thead><tbody><tr><td>Wood T&G</td><td>Deck</td><td>3.0</td></tr><tr><td>2-Ply Asphalt</td><td>BUR (Asphalt)</td><td>0.5</td></tr><tr><td>Fiberboard</td><td>Insulation</td><td>0.5</td></tr><tr><td>EPDM Fastened</td><td>EPDM</td><td>0.06</td></tr></tbody></table>		Layer	Material	Thickness	Wood T&G	Deck	3.0	2-Ply Asphalt	BUR (Asphalt)	0.5	Fiberboard	Insulation	0.5	EPDM Fastened	EPDM
Layer	Material	Thickness														
Wood T&G	Deck	3.0														
2-Ply Asphalt	BUR (Asphalt)	0.5														
Fiberboard	Insulation	0.5														
EPDM Fastened	EPDM	0.06														
Core Comments:																

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.

DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The insulation has become saturated in identified areas. This moisture-laden material needs to be removed and replaced immediately to prevent further costly deterioration.

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Penthouse		Sq. Footage: 306	Leaks: Multiple
<div>No Image Available</div>		<div>This is a duplicate core.</div>	
Core Comments:			


Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

MEMBRANE: The field of the roof has clearly reached the end of its life cycle. Previous repairs have been made and further attempts to repair this roof are not recommended.

DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent

◀◀◀ Roof Condition Summary ▶▶▶

South Hill Station
222 Bolivar St
Lexington, KY 40508-2937

Section: Section 3		Sq. Footage: 11,758	Leaks: Multiple
	Core Analysis		
	Layer	Material	Thickness
	Wood T&G	Deck	3.0
	3-Ply Asphalt	BUR (Asphalt)	1.0
	Perlite	Insulation	0.5
	EPDM Fastened	EPDM	0.06
Core Comments:			

Roof Condition Summary: We strive to provide our customers with comprehensive information as to their overall roof condition and life expectancy. The roof is in poor condition. A new roof installation is now recommended. This roofing work is suggested now to eliminate the risk of expensive tear off and potential deck replacement associated with continued repairs or re-roofing delays.

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DECK: The insulation has become saturated in identified areas. This moisture-laden material needs to be removed and replaced immediately to prevent further costly deterioration.



Core Comments:

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DETAILS: The details of the roof are in clear need of attention. Repairs should be made to many of the detail areas to prevent further moisture from entering into the roof system.

INSULATION: The roof currently drains at acceptable levels. There are indications that drainage can become impaired if proper house keeping measures are not put in place. This would include gutter and downspout cleaning, straining basket cleaning, etc.

DECK: The current roof assembly did not utilize roof insulation.

Install the new TPO membrane over the prepared surface by utilizing mechanical fasteners on 10 foot centers.

Mechanical attachment of the membrane shall be done utilizing a 1" wide polymer batten bar or 2 3/8" round seam plates and FM Global (FM) approved fasteners. Maximum spacing 6" on center.

The thermoplastic membrane seams will be overlapped a minimum of 5", then hot air welded together. Weld width shall be a minimum of 1.5" in width for automatic machine welding. Weld width shall be 2" in width for hand welding. Upon completion of welding, each seam shall be probed to ensure proper securement.

HVAC, Curbed Penetrations and Other Air Handling Unit Details

Furnish and install at the base of the unit 2 3/8" round seam plates to the field membrane. Adhere a second piece of thermoplastic membrane to the curb with bonding adhesive and install prefabricated universal corners for reinforcement.

All existing skylights will be raised to the appropriate height to meet industry standard flashing requirements.

Parapet Wall Detail

Furnish and install 2 3/8" round seam plates or 1" wide polymer batten strip to the field sheet at the base of the wall. A second piece of membrane will be adhered to the wall, welded to the field sheet and terminated with an aluminum bar.

Pipes Less Than 6" In Diameter

Furnish and install new prefabricated thermoplastic pipe boot secured at the top with a stainless steel screw type clamp adhered to the field sheet.

Stacks Greater Than 6" In Diameter

Furnish and install a 60 mil, non-reinforced thermoplastic flashing, where applicable.

Miscellaneous Projections

Furnish and install thermoplastic flashings to the roof projections. Upon completion of welding, each seam shall be probed to ensure proper securement.

Sheet Metal Accessories:

Furnish and install new 24 gauge metal gravel stop/drip edge with continuous cleat.

Furnish and install new 24 gauge pre-finished gutter and downspouts. Choice of color to be selected by owner from standard color chart. (Penthouse, Metal Roof, Canopy Only.)

Standard Operating Procedures:

Employee Professionalism

All work shall be performed in a safe, professional manner in compliance with Centimark policy.

Nightly Tie-In's

Depending on new roof system being installed, temporary water cut-offs are to be constructed at the end of each working day to protect the newly installed roof system and building interior.

Clean Up

All work premises will be cleaned daily during the construction process and at the completion of the project.

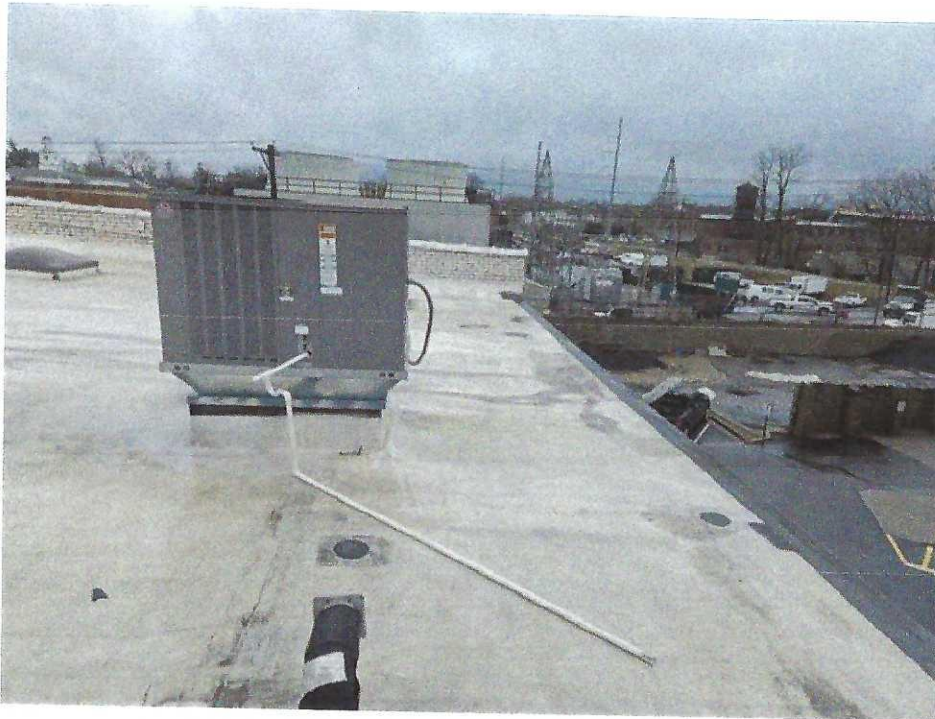
Job Acceptance and Punch List

Conduct a post job walk through for final sign-off of our job completion form.

◀◀◀ Safety Pictures ▶▶▶

Section: Section 3

Area: Safety



Existing Safety Condition

Safety Solution

Description

Flags & MSS - Edge MSS

Hazard

Exposed Edges - Fall Hazard

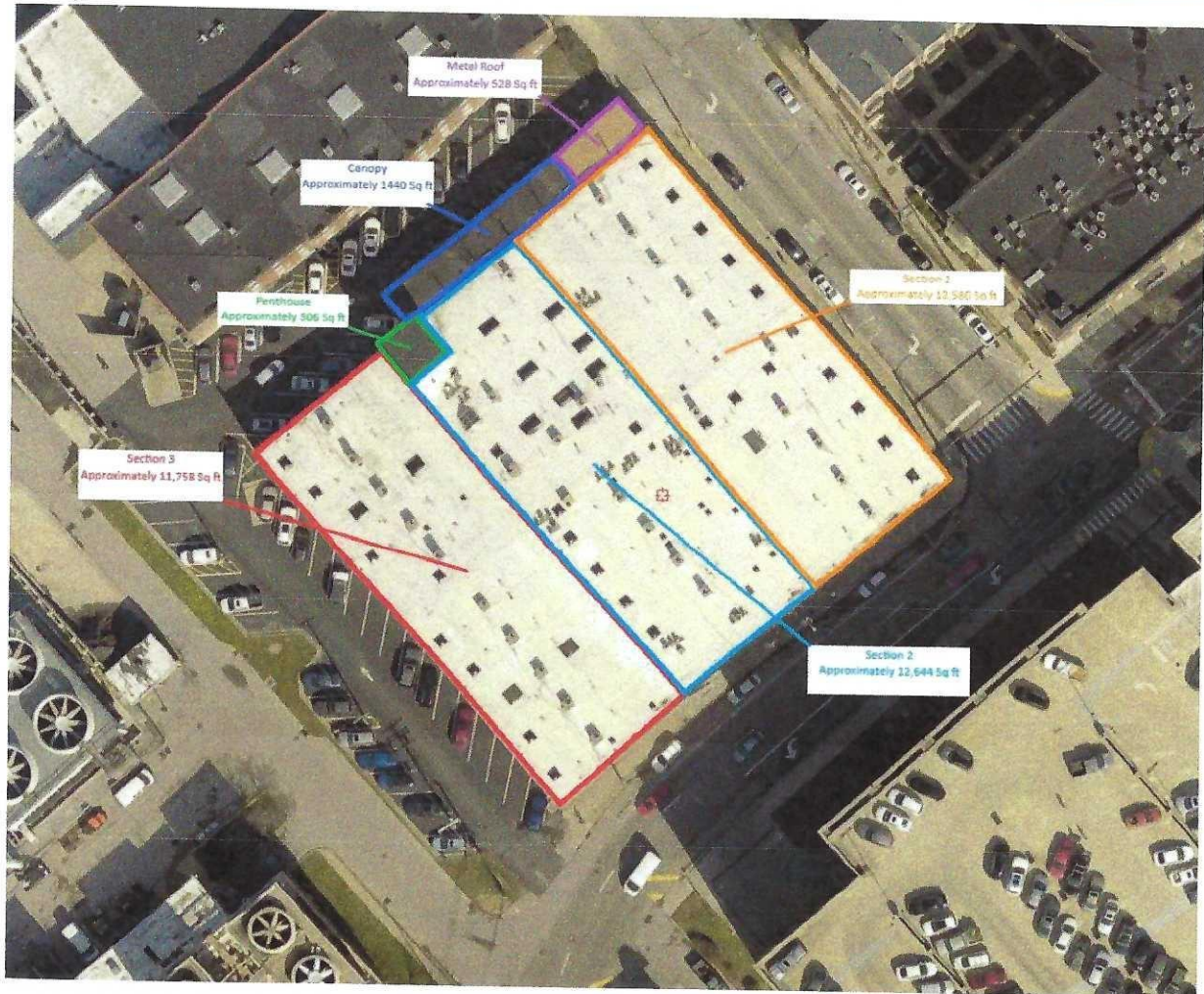
Impact

Continued from previous page



◀◀◀ Drawing ▶▶▶

Area: Drawing



CentiMark Corporation reserves the right to adjust pricing based on industry wide price increases. Due to supply chain pressures and various material shortages, the roofing industry is currently experiencing unprecedented volatility. This is affecting both material costs and delivery schedules.

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This quote does not include any supplemental deck attachment as may be required by Factory Mutual Global (FM). Please note that should FM and/or you require such deck attachment, additional costs will be estimated and added as a separate item to the overall cost of this project.

Valid from 10/16/2025




Project Proposal for **South Hill Station Lofts - Lexington, KY**

Prepared for: Ryan Weddle, CentiMark Corporation

Prepared by: Kylie Hirschak, ShieldWorks

Date Prepared: October 16th, 2025

Proposal Reference #: 250129_1CKH_SouthHillStation_LexingtonKY_Rev2

 <p>shieldworks DUST & DEBRIS CONTAINMENT</p>	<p>136 Hud Rd Winchester, KY 40391 800-294-0694 www.shieldworks.com</p>
<p>Date: 10/16/2025</p>	<p>Proposal #: 250129_1CKH_SouthHillStation_LexingtonKY_Rev2</p>
<p>Customer: CentiMark Corporation</p> <p>Ryan Weddle, Ryan.weddle@centimark.com</p>	<p>Job Location:</p> <p>South Hill Station Lofts 222 Bolivar St Lexington, KY 40508</p>

Project Scope of Work:	Unit \$	Tax	Ext Price
Please confirm scope details and check the box for each selected option below.			
<input type="checkbox"/> Scope Details for South Hill Station <ul style="list-style-type: none"> Up to 37,000 SF of Suspended Cover. <ul style="list-style-type: none"> The project encompasses a total of 37,000 square feet, including 30,400 square feet for the apartment rooms and an additional 6,600 square feet for hallways and stairwells. Installation and takedown will be conducted using ladders, which will be provided by Shieldworks. To protect your space from dust and debris, our installation method will involve taping to masonry block walls and stapling to drywall surfaces. Please note that while every effort will be made to minimize impact, the use of staples in drywall may leave small holes. Shieldworks does not provide drywall repair services and is not responsible for patching or repairing these holes upon project completion. We recommend coordinating with a qualified contractor for any necessary drywall repairs after takedown. Installation and Removal. ShieldWorks will Install IntelliShield. (IntelliShield is ShieldWorks' proprietary system which is Classified UL-723S for installation below sprinkler systems). ShieldWorks will Mechanically Attach the containment system to facility walls to ensure protection remains operational throughout the project. ShieldWorks recommends Mechanically Attaching to walls with various fasteners and Tape. Our standard procedure is to use Tapcons (for concrete walls), Self Tapping Screws (for Insulated Metal Panels) and Staples (for Drywall). ShieldWorks is not responsible for detachment at walls if the client requests Tape-Only). ShieldWorks will install protection Above Existing Facility Lighting. Ladders will be provided by ShieldWorks. Expected Install Duration: (11) Consecutive Days. Expected Removal Duration: (6) Consecutive Days. 	\$104,040.00	N/A	\$104,040.00

Project Schedule, Scheduling Process, & Payment Terms

Project Schedule:

ShieldWorks is permitted to perform the installation on the following days of the week:

- **Mo Tu We Th Fr Sa Su** between the hours of **TBD**, **(7) days** per week, up to **(10) hours minimum** per day.

-Estimated Time Frame to Complete the Installation: **(11) Consecutive Days.**

-Estimated Time Frame to Complete the Removal: **(6) Consecutive Days.**

-Estimated Total Installation Mobilizations: **One..**

-Estimated Total Removal Mobilizations: **One.**

-Additional Mobilizations that are required due to scope changes or damage caused by Others will incur a minimum charge of **\$1500** per mobilization plus any extra costs for labor, materials, and/or equipment.

-No downtime has been included for equipment shutdown, scope change, or schedule delays.

Project Scheduling Process:

At the preliminary stage, depending on the probability of the project, we generally place your project on our calendar at your desired or estimated date you anticipate the commencement of our work. This is your **forecasted** date.

Project Schedule LOCK: At a **minimum of 10 days prior to our team arriving** at the job site, we require one of either a **PO**, a **Signed Contract**, or a **Signed Proposal** in order to **LOCK your project on our schedule**. The faster we receive any of those executed documents, the quicker we can guarantee your spot on our work schedule. Material ordering and site safety protocols will also be addressed at this time. Please be aware of potential delivery delays during our current economic realities.

We are typically **booked 4 to 6 weeks** in advance, however, we work diligently to adjust when possible. At times, our other clients are flexible enough with dates to allow us to squeeze a project into the schedule. Most times, collection of payment methods and pertinent project data from the client are the cause for delays in schedule locking during a fast-track attempt.

Project Payment Terms:

Customer agrees to pay a 15% deposit at least two weeks prior to commencement of installation or agrees to process and pay the invoice for materials within 15 days of delivery of materials to the site. For projects involving installation only, 100% of the total contract amount will be billed by the conclusion of the installation. For projects involving installation and removal of the containment, a total of 85%(which includes the 15% deposit or initial billing for materials) of the total contract amount will be billed by the conclusion of the installation. The remaining 15% will be billed following takedown/removal. Progress billing invoices due within **Thirty (30)** days of invoice date. No discount is available for takedown/removal by Customer or Others. Any area(s) deducted by the customer once the project has commenced will be billed at half the average price per SF for the deducted area. This pricing proposal is good for **60 days** from the date listed on this proposal.

15. ShieldWorks agrees to be responsible for direct physical loss and damage arising from its negligent acts or omissions but not for punitive damages, consequential, and/or purely economic losses arising out of or relating to the work of this agreement including, but not limited to loss of use, loss of rents, and loss of income or profits.
16. All terms shall be strictly enforced and no conduct of ShieldWorks shall be construed as a waiver of any term or condition of this Agreement.
17. ShieldWorks and Customer waive all rights against each other and any of its subcontractors, agents and employees, of each of the other, for damages caused by fire or other perils to the extent covered by any policy or property insurance, except such rights as either may have to proceeds directly as an insured. This waiver of subrogation shall be effective as to a person or entity even though that person or entity would otherwise have a duty of indemnification, contractual or otherwise, did not pay the insurance premium directly or indirectly, and whether or not the person or entity had an insurable interest in the property damaged.
18. To the fullest extent allowed by law, ShieldWorks will indemnify and hold harmless Customer, Customer's agents, and employees against any claims, losses, damages, and expenses arising out of or resulting from ShieldWorks' work under this Agreement and caused by ShieldWorks' negligent act under this Agreement, but only to the extent that such claim, loss, damage or expense is caused by the negligent act of ShieldWorks, a subcontractor, or agent of ShieldWorks.
19. Customer agrees that ShieldWork's refusal to perform due to lack of payment shall not be construed as a breach of this Agreement. Any notice of claim for damages against ShieldWorks shall be made in writing within sixty (60) days of substantial completion of the work of this Agreement and any causes of action against ShieldWorks arising out of this Agreement shall be commenced within one (1) year of substantial completion of the work of this Agreement, otherwise such claims shall be waived. Substantial completion of the work of this Agreement shall be deemed to occur upon removal of the Containment System or upon the final billing for services under this Agreement.
20. Customer Agrees to reimburse ShieldWork's reasonable costs and attorney's fees incurred if ShieldWorks engages an attorney to enforce its rights against Customer under this Agreement.
21. The Parties agree that no waiver of a condition or performance of an obligation under this Agreement will be effective unless it is in writing and signed by the party granting the waiver. Any other attempted waiver shall be void.
22. No party under this Agreement may assign its rights or responsibilities to another without agreement between The Parties. Any attempted assignment shall be void. No assignment will relieve the Customer of its previously accrued obligations under this Agreement.
23. This contract is the result of an arm's length negotiation between the parties. The parties agree that the original contract terms and those added by Addendum will not be construed against the drafting party.
24. Customer agrees to keep all information about this Agreement and ShieldWorks' methods and processes confidential and will not disclose any such information to third parties except as necessary to fulfill the obligations of this Agreement or an order of the court. Customer agrees that this confidentiality agreement shall survive the termination or natural end of this Agreement and that this obligation can be enforced by injunction without the need to prove damages or post bond.
25. This document (Agreement) is the entire understanding and agreement between the parties regarding this subject matter. All negotiations between the parties, including written change orders signed by ShieldWorks, are merged into this Agreement. There are no representations, warranties, covenants, understandings, or agreements, oral or otherwise, in relation to this subject matter other than those incorporated into this document. If other documents have been included in the Agreement between the Parties by a subsequent, concurrent, or previous written agreement, the Parties agree that this document is integrated as a contract document regardless of any language to the contrary in Customer's acceptance and/or other documents between the Parties. If Customer desires that ShieldWorks be limited or obligated by the terms of an agreement between Customer and Others, this proposal shall be construed as a formal request for a copy of any and all such agreements prior to ShieldWorks' acceptance, in writing only, of any terms that are different or additional from those stated herein. ShieldWorks shall not be bound by the terms of documents not provided to ShieldWorks for review prior to Customer acceptance of this offer and rejects any and all terms that are different or additional regardless of how this document is referenced in and/or how such different or additional terms are stated in Customer's acceptance of this offer.
26. The laws of the Commonwealth of Kentucky, without giving effect to the principles of conflict of laws, shall govern all matters arising under this Agreement, including construction, interpretation, and enforcement.

ESTIMATE

Stevenson Contracting LLC

elijahstevensonco@outlook.com

+1 (606) 276-0613

Bill to

Heather Auger

Estimate details

Estimate no.: 1191

Estimate date: 10/16/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.		South Hill Steel Beams	-Remove 20sq of existing metal -Install temporary wall for additional support to remove 1 steel beam at a time -Remove 6H steel beams -Remove 122ft of existing gutter and fascia metal -Install new 16ft H Beams -New buckle flanges on each end for tying into the old SSRS -Install new J channel around everything -Install new 40 year premium grade metal -Install 122ft of new commercial gutter to match existing -Install 122ft of new fascia metal (29 gauge) (All material, labor, permit, inspection and disposal is included in the estimate.)	1	\$46,000.00	\$46,000.00

Total

\$46,000.00

Note to customer